



**City of Bellevue  
Development Services Department  
Land Use Staff Report**

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**Proposal Name:** Tsiprin Residence

**Proposal Address:** 840 134<sup>th</sup> Ave NE

**Proposal Description:** This is an application for a Critical Areas Land Use Permit for construction of a new single-family dwelling and pool on a site containing a Category III wetland. The proposal is supported by a Geotechnical Report and Critical Areas Report.

**File Number:** 17-106078-LO

**Applicant:** Elena Tsiprin

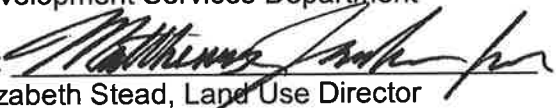
**Decision Included:** Critical Areas Land Use Permit  
(Process II. LUC 20.30P)

**Planner:** Jeremy Hammar, Assistant Planner

**State Environmental Policy Act  
Threshold Determination:** Exempt

**Director's Decision:** Approval with Conditions

Mike Brennan, Director  
Development Services Department

By:   
Elizabeth Stead, Land Use Director

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Application Date:	<u>February 14, 2017</u>
Notice of Application Publication Date:	<u>March 16, 2017</u>
Decision Publication Date:	<u>December 14, 2017</u>
Project/SEPA Appeal Deadline:	<u>December 28, 2017</u>

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For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

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### Attachments:

1. Project Plans – Enclosed
2. Critical Areas Report and Mitigation Plan – In File
3. Bridge installation and Mitigation Summary - In File

## **I. Proposal Description**

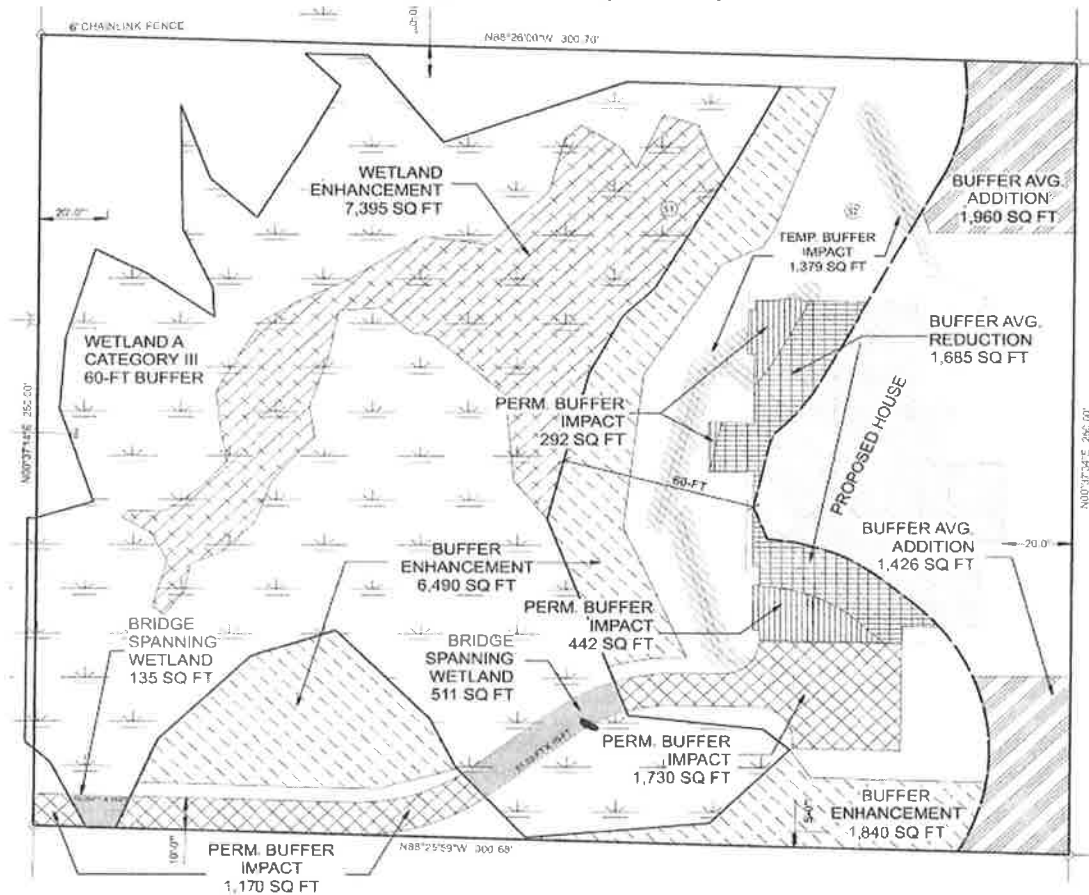
The subject property is 1.73 acres, with only 0.27-acres of buildable land being non-wetland or buffer. The buildable area is located entirely along the eastern property boundary. Additionally, given the site's topography, the northern third of this area is not suitable for the placement of a residence.

The on-site wetland lies between 134<sup>th</sup> Ave NE and the buildable portion of the site, so in order to build a house on the parcel, the wetland and buffer need to be crossed with an access driveway. As a means of avoiding direct wetland impacts and minimizing to the greatest extent possible the potential damage to the wetland that could result from wetland fill, the applicant is proposing to construct an elevated access drive (bridge) to cross the wetland. The wetland will be spanned in two places, which will total approximately 85 feet by 10 feet. Bridge 1 will completely span the wetland and impacts associated with its installation will be limited to buffer area. Bridge 2 will span the majority of the wetland area but will require a structural pile in the middle of the span for support.

The applicant is proposing the placement of a single-family residence on the eastern side of the property, in largely non-buffer areas. A total of 1,685 square feet of buffer is proposed to be reduced along the western side of the proposed structure. The proposed plan requires approximately 734 square feet of buffer impact for the structural foundation of the primary structure and 3750 square feet of buffer impact associated with the access driveway.

Proposed mitigation for the project is detailed in pages 14-23 and appendix C of the Critical Areas Report & Mitigation plan located in the project file. The applicant is proposing 7,395 square feet of wetland enhancement (10.1:1 enhancement to impact ratio) to compensate for the buffer impacts associated with the primary structure. As detailed in the document referenced above and the document titled Wetland Crossing/Bridge Installation Mitigation Summary in the project file. To compensate for impacts associated with the access driveway, the applicant is providing 8,330 square feet of buffer enhancement (2.2:1 enhancement to impact ratio). Additionally, temporary buffer impacts associated with the installation of a stormwater management facility will be restored to preconstruction conditions and enhanced with native shrubs.

### Figure 1 – Project Proposal



## II. Site Description, Zoning, Land Use, and Critical Areas

The project site is currently undeveloped and contains non-mature and mature forested areas. Surrounding land use is a mix of similarly undeveloped forestland and parks, as well as multi-family and single-family residential developments. Dominant vegetation on-site is represented by an open canopy of big leaf maple, red alder, vine maple, with small stands of Douglas fir and Western red cedar. The forest understory on-site is disturbed and is largely covered with invasive species, including Himalayan blackberry and English ivy. Some limited areas across the site contain small stands of vine maple, salmonberry, Sitka willow, red elderberry, and Indian plum. The herbaceous layer, when not subdued by invasive cover, is dominated by sword fern, creeping buttercup, soft rush, reed canary grass, slough sedge, and small patches of bracken fern.

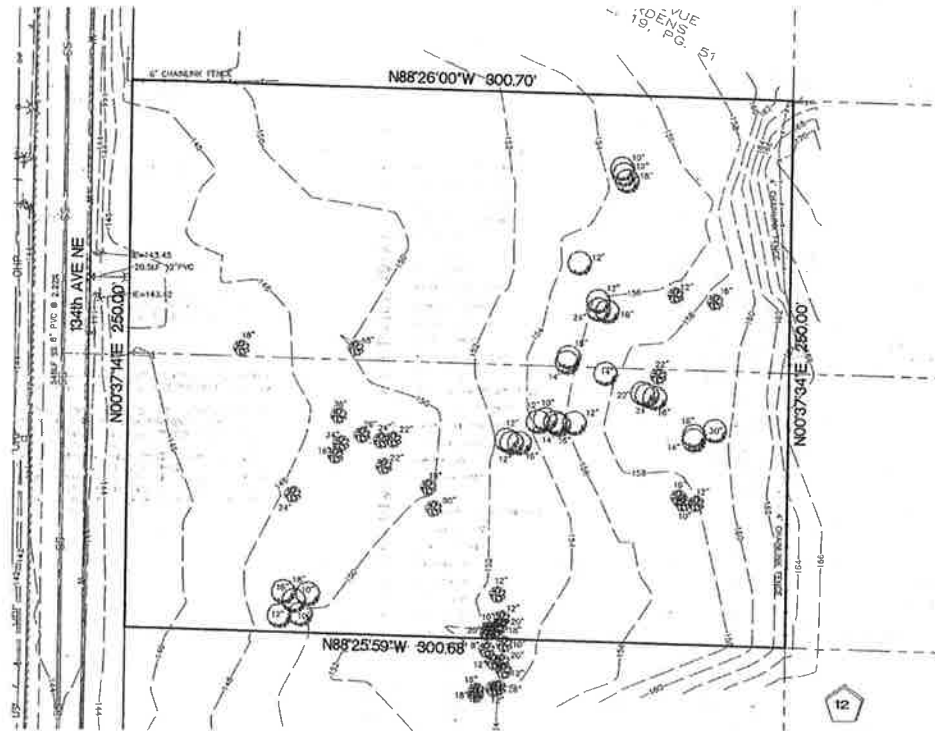
Topography consists of an undulating slope with a westerly aspect, transitioning and flattening on the eastern side of the property. Given the topography of the site, general flow patterns would be to the west toward the property boundary, which borders 134<sup>th</sup> Ave NE. On-site soils are mapped as Everett gravelly sandy loam, 5 to 15 percent slopes and Alderwood gravelly sandy loam, 6 to 15 percent slopes.

One wetland (wetland A) was identified generally in the western half of the property. Wetland A is a depressional wetland complex that is located east of 134<sup>th</sup> Ave NE and continues off-site to the north-northwest and to the south. Pursuant to City of Bellevue's Land Use Code Part 20.25H, Wetland A is classified as a Category III wetland with a habitat score of 13. No off-site wetlands were observed within 500-ft of the subject property. Kelsey Creek, a fish-bearing stream, lies approximately 400 feet to the north of the subject property.

**Figure 2 – Aerial Photograph**

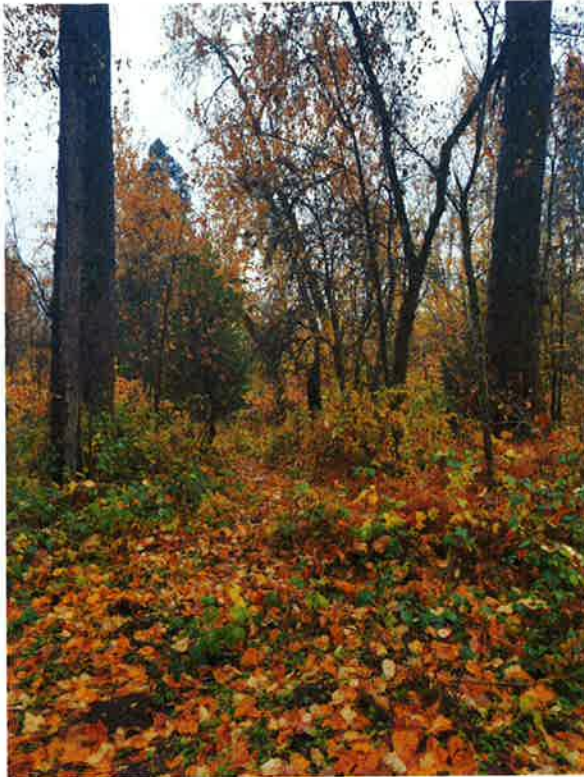


### Figure 3 – Site Survey

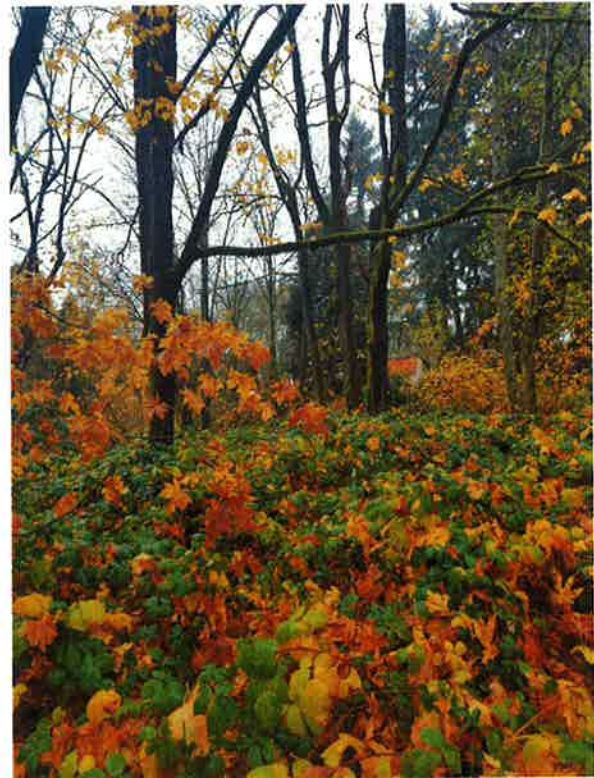


### Figure 4 – Site Photographs





Facing West (Driveway/access from 134<sup>th</sup> Ave NE)



Facing East (Building Location)

### III. Site Context

#### A. Critical Areas: Wetland

Wetlands provide important functions and values for both the human and biological environment—these functions include flood control, water quality improvement, and nutrient production. These “functions and values” to both the environment and the citizens of Bellevue depend on their size and location within a basin, as well as their diversity and quality. While Bellevue’s wetlands provide various beneficial functions, not all wetlands perform all functions, nor do they perform all functions equally well (Novitski et al., 1995). However, the combined effect of functional processes of wetlands within basins provides benefits to both natural and human environments. For example, wetlands provide significant stormwater control, even if they are degraded and comprise only a small percentage of area within a basin.

Wetland A is located on the western half of the subject property. This wetland is irregularly shaped and is approximately 0.72-acres in size. Hydrology is supplied to Wetland A by groundwater discharge and by surface water runoff. Wetland A is hydrogeomorphically classified as a depressional wetland. Wetland A received a total score for functions of 37 with a habitat score of 13 on the Washington State Wetland rating Manual for Western Washington (revised, Department of Ecology Document No. 04-06-025 (Hruby 2004). Wetlands with scores ranging from 30 to 50 points for all functions are classified as Category III wetlands. In the City of Bellevue, Category III wetlands with low habitat scores (less than 20 points) on undeveloped sites (as defined in LUC) receive 60-foot buffers from

their delineated edges, pursuant to LUC 20.25H.095.

#### **IV. State Environmental Policy Act (SEPA)**

The proposed addition is exempt from SEPA in WAC 197-11-800 and no work is proposed within a critical area or exceeds a categorical exemption.

#### **V. Consistency with Land Use Code Requirements:**

##### **A. Zoning District Dimensional Requirements:**

The property is within the R-2.5 zoning district. Based on the materials submitted, the proposal is consistent with the underlying zoning district and consistent with the dimensional requirements in LUC 20.20.010.

##### **B. Critical Areas Requirements LUC 20.25H:**

The City of Bellevue Land Use Code Critical Areas Overlay District (LUC 20.25H) establishes performance standards and procedures that apply to development on any site which contains in whole or in part any portion designated as critical area, critical area buffer or structure setback from a critical area or buffer. The following performance standards apply to projects that work in wetlands and streams.

##### **i. Consistency with LUC 20.25H.100**

###### **1. Lights shall be directed away from the wetland.**

Any new lights associated with the primary structure or access driveway will be directed away from the critical area.

###### **2. Activity that generates noise such as parking lots, generators, and residential uses, shall be located away from the wetland, or any noise shall be minimized through use of design and insulation techniques.**

As a result of the proposed project, residential uses, parking areas, and associated noise on the subject property will be located as far away as possible from Wetland A.

###### **3. Toxic runoff from new impervious area shall be routed away from the wetlands.**

Toxic runoff resultant from the parking area at the terminus of the access driveway, will be captured, and directed into a stormwater management system. From the stormwater system design and through best management practices, it is expected that toxins will be appropriately managed due to percolation through the substrate prior to stormwater being discharged to the wetland.

###### **4. Treated water may be allowed to enter the wetland critical area buffer.**

The proposed infiltration trench will allow collected hydrology from the roof of the primary structure, driveway, and parking areas, to infiltrate into the soil. This water will thereby be treated due to percolation through the substrate, and will enter the wetland via subsurface flows.



**5. The outer edge of the wetland critical area buffer shall be planted with dense vegetation to limit pet or human use.**

The overall condition and function of the on-site buffer will be improved by the proposed mitigation plan. Additionally, the buffer area between the primary structure and the wetland edge will be planted with native species. Therefore, planting dense vegetation on the outer edge of Wetland A is not an applicable performance standard for the proposed project. See Conditions of Approval in Section X of this report.

**6. Use of pesticides, insecticides and fertilizers within 150 feet of the edge of the stream buffer shall be in accordance with the City of Bellevue's "Environmental Best Management Practices," now or as hereafter amended.**

As no stream is present on or adjacent to the subject site, this performance standard is not applicable to the proposed project.

## **VI. Summary of Technical Reviews**

### **Clearing and Grading:**

The Clearing and Grading Division of the Development Services Department has reviewed the proposed site development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development and concurred with the findings within the Geotechnical Report.

## **VII. Public Notice and Comment**

Application Date:	February 14, 2017
Public Notice (500 feet):	March 16, 2017
Minimum Comment Period:	March 30, 2017

The project was publicly noticed in the City's Weekly Permit Bulletin and Seattle Times on March 30, 2017 with notice mailed to property owners within 500 feet of the project site. No written comments were received regarding the proposal, and there are no parties of record besides the applicant.

## **VIII. Decision Criteria**

### **A. 20.30P.140 Critical Area Land Use Permit Decision Criteria – Decision Criteria**

The Director may approve, or approve with modifications an application for a Critical Area Land Use Permit if:

- A. The proposal obtains all other permits required by the Land Use Code;**  
The applicant must obtain a clearing and grading permit and any associated permits.  
**See Conditions of Approval in Section X of this report.**
- B. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;**  
The proposal will provide wetland restoration which will improve the function and habitat value of this critical area.
- C. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and;**  
The performance standards related to wetlands are being met by this proposal as described in Section III above.
- D. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;**  
The proposed activity does not impact public services.
- E. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and**  
The mitigation planting is comparable with the City's planting templates wetlands and meets requirements in LUC 20.25H.210. **See Conditions of Approval in Section X of this report.**
- F. The proposal complies with other applicable requirements of this code.**  
As discussed in this report, the proposal complies with all other applicable requirements of the Land Use Code.

**IX. Conclusion and Decision**

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **approve with conditions** the proposed restoration and habitat improvement of the wetland and buffer adjacent to the West Tributary of Kelsey Creek found in the regional detention facility. **Approval of this Critical Areas Land Use Permit does not constitute a permit for construction. A building permit, clear and grade permit, and/or utility permit is required and all plans are subject to review for compliance with applicable City of Bellevue codes and standards.**

**Note- Expiration of Approval:** In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a building permit or other necessary development permits within one year of the effective date of the approval.

**X. Conditions of Approval**

**The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:**

<u>Applicable Ordinances</u>	<u>Contact Person</u>
Clearing and Grading Code- BCC 23.76	Tom McFarlane, 425-452-5207
Land Use Code- BCC Title 20	Jeremy Hammar, 425-452-2739
Noise Control- BCC 9.18	Jeremy Hammar, 425-452-2739

**The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:**

- 1. Clearing and Grading Permit:** Approval of this Critical Areas Land Use Permit does not constitute an approval of a development permit. Application for a clearing and grading permit or other required permits must be submitted and approved. Plans submitted as part of either permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140  
Reviewer: Jeremy Hammar, Development Services Department

- 2. Temporary Disturbance:** Any areas of temporary disturbance from temporary access location are required to be restored per the plan.

Authority: Land Use Code 20.30P.140  
Reviewer: Jeremy Hammar, Development Services Department

- 3. Restoration Planting and Monitoring Plans:** Plans submitted for the grading permit must show the proposed mitigation planting and monitoring plans.

Authority: Land Use Code 20.30P.140  
Reviewer: Jeremy Hammar, Development Services Department

- 4. Maintenance and Monitoring:** Maintenance and monitoring is required to be carried out as detailed in the submitted plan. The annual reports can be sent to Jeremy Hammar at [jhammar@bellevuewa.gov](mailto:jhammar@bellevuewa.gov) or to the address below:

Environmental Planning Manager  
Development Services Department  
City of Bellevue  
PO Box 90012  
Bellevue, WA 98009-9012

Authority: Land Use Code 20.25H.220.D  
Reviewer: Jeremy Hammar, Development Services Department

5. **As-Built Drawing:** Any changes made in the field are to be shown on as-built drawings. A copy of any as-built drawings is required to be submitted under the issued clearing and grading permit.

Authority: Land Use Code 20.30P.140  
Reviewer: Jeremy Hammar, Development Services Department

6. **Land Use Inspection:** Following installation of planting the applicant shall contact Land Use staff to inspect the planting area prior to final building inspection.

Authority: Land Use Code 20.30P.140  
Reviewer: Jeremy Hammar, Development Services Department

7. **Noise Control:** Noise related to construction is exempt from the provisions of BCC 9.18 between the hours of 7 am to 6 pm Monday through Friday and 9 am to 6 pm on Saturdays, except for Federal holidays and as further defined by the Bellevue City Code. Noise emanating from construction is prohibited on Sundays or legal holidays unless expanded hours of operation are specifically authorized in advance. Requests for construction hour extension must be done in advance with submittal of a construction noise expanded exempt hours permit.

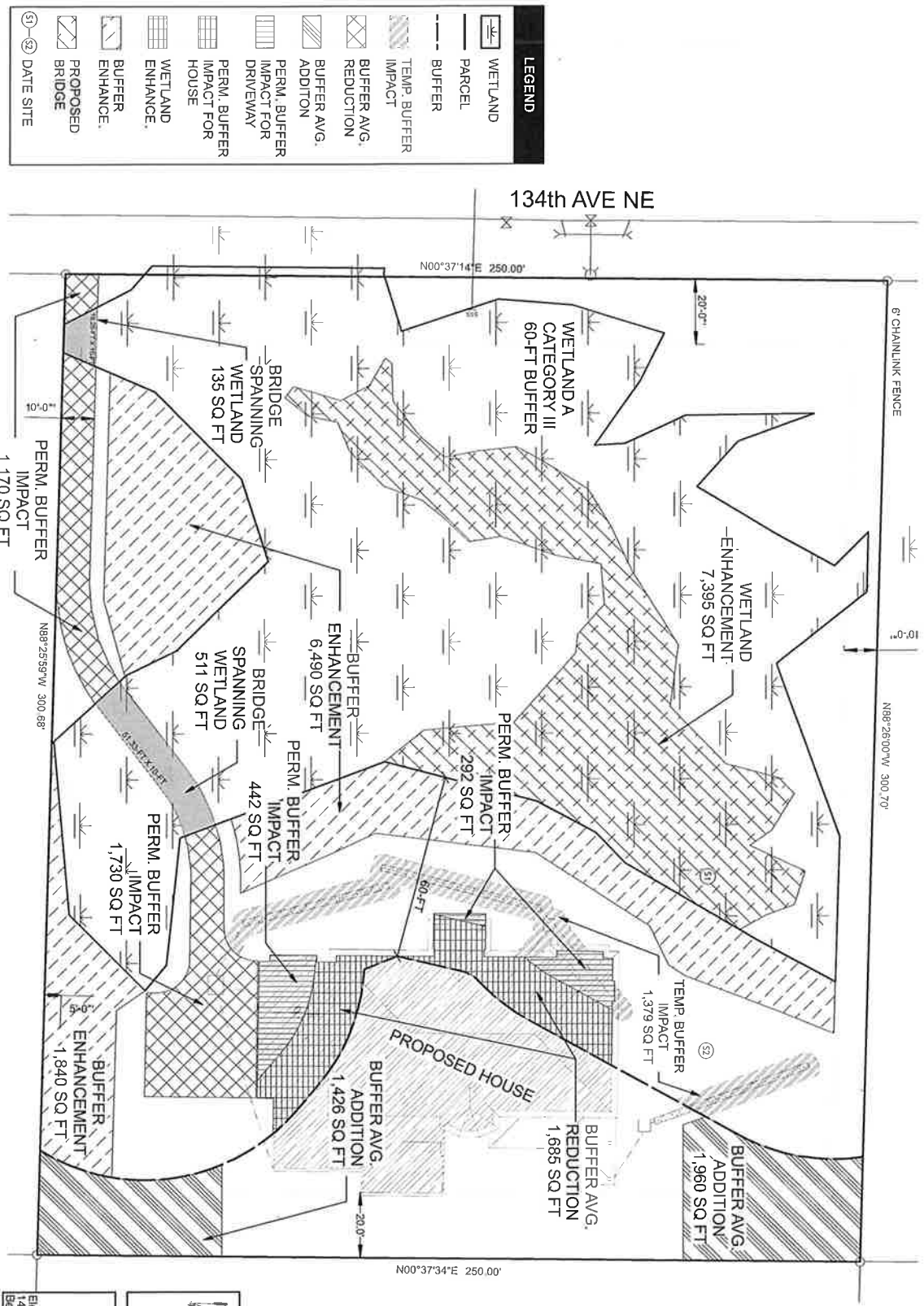
Authority: Bellevue City Code 9.18  
Reviewer: Jeremy Hammar, Development Services Department

- REVISED MAP - 10/12/17

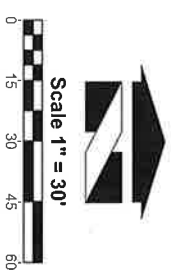
# CRITICAL AREAS REPORT MAP

## TSIPRIN - 134TH AVE NE

PORTION OF SECTION 27, TOWNSHIP 25N, RANGE 05E, W.M.



LEGEND	
	WETLAND
	PARCEL
	BUFFER
	TEMP. BUFFER
	IMPACT
	BUFFER AVG. REDUCTION
	BUFFER AVG. ADDITION
	PERM. BUFFER IMPACT FOR DRIVEWAY
	PERM. BUFFER IMPACT FOR HOUSE
	WETLAND ENHANCEMENT
	WETLAND IMPACT
	PROPOSED BRIDGE
	DATE SITE



**Wetland Resources, Inc.**  
 9505 13th Avenue S.E. Suite 106 Everett, Washington 98208  
 Phone: (425) 337-3174  
 Fax: (425) 337-3045  
 Email: malbox@wetlandresources.com

CRITICAL AREAS REPORT MAP  
 Tsiprin - 134th Ave NE  
 Bellevue, Washington

Sheet 1/1  
 WRL Job # 16068  
 Drawn by: JLM  
 Date: Oct. 2, 2017

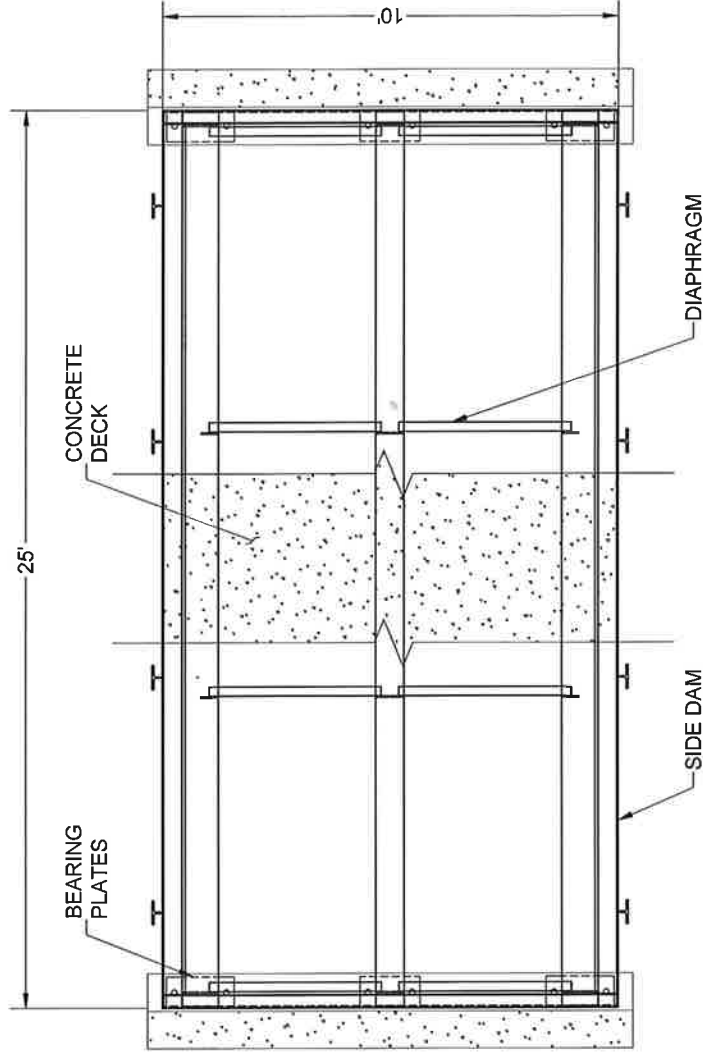




Bridge Finish: Weathering Steel



PROJECT NUMBER	DATE
147303	8/23/2017
DESIGNED	DRAWN
DYOB	DYOB
CHECKED	APPROVED
SHEET NO.	1 OF 4



# BRIDGE PLAN

The graphic information and details contained in these plans is schematic in nature. The plans, elevations and sections have been developed automatically in a way that demonstrates your current input in a relative and proportional manner. The details included in these plans have been selected to represent commonly built construction assemblies. These are not Engineering drawings, and as such, the details may vary in the final design for your project depending on many variables that are selected in your final scope of work and specifications.

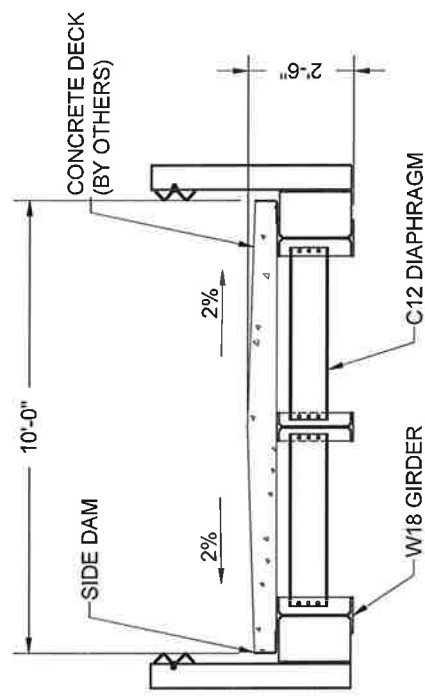
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DATE	8/23/2017
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CHECKED BY	APPROVED
SHEET NO.	2 OF 4



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800-338-1122 513-645-7000 513-645-7993 FAX

Steel Stringer 25' Span x 10' Width  
Tsiprin Home  
Vehicular Bridge  
Bellevue, Washington

MARK	DATE	REVISION DESCRIPTION	BY



# BRIDGE SECTION

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 DRAWING

Steel Stringer 25' Span x 10' Width

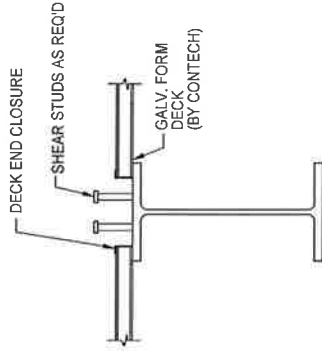
Tsiprin Home

Vehicular Bridge

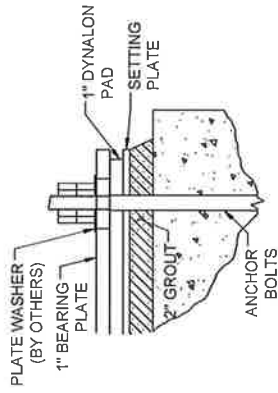
Bellevue, Washington

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

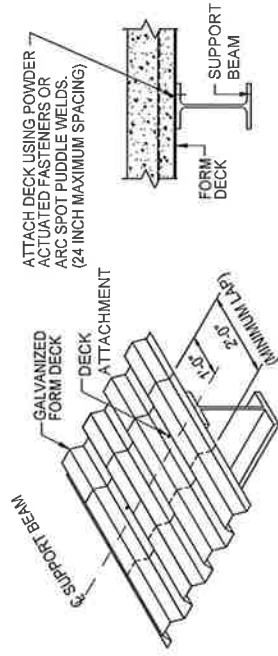
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TYPICAL FORM DECK DETAIL



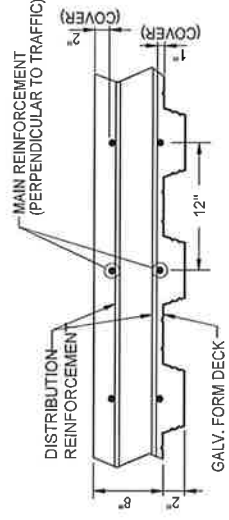
TYPICAL BEARING DETAIL



SECTION VIEW

ISOMETRIC VIEW

FORM DECK DETAILS



CONCRETE DECK REINFORCEMENT

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**STEEL STRINGER BRIDGES**

Steel Stringer 25' Span x 10' Width  
 Tsiprin Home  
 Vehicular Bridge  
 Bellevue, Washington

MARK	DATE	REVISION DESCRIPTION	BY

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**STEEL STRINGER BRIDGES**

Steel Stringer 25' Span x 10' Width  
 Tsiprin Home  
 Vehicular Bridge  
 Bellevue, Washington

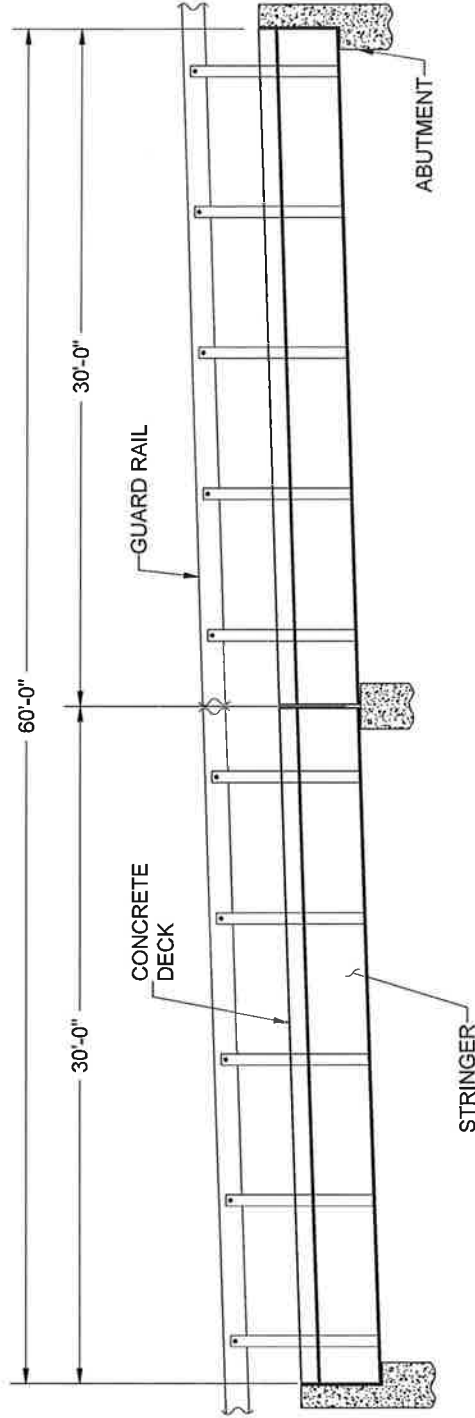
PRODUCT NUMBER	DATE	DESIGNED	DRAWN	CHECKED	APPROVED	SHEET NO.	4	OF	4
147203	8/23/2017	DYOB	DYOB	DYOB	DYOB	4	4	4	4

**BRIDGE SUMMARY**

Steel Stringer Vehicular Bridge 60' Span x 10' Width

Deck Type: Concrete

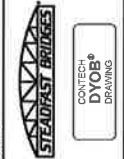
Bridge Finish: Weathering Steel



**BRIDGE ELEVATION**

The graphic information and details contained in these plans is schematic in nature. The plans, elevations and sections have been developed automatically in a way that demonstrates your current input in a relative and proportional manner. The details included in these plans have been selected to represent commonly built construction assemblies. These are not Engineering drawings, and as such, the details may vary in the final design for your project depending on many variables that are selected in your final scope of work and specifications.

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Steel Stringer 60' Span x 10' Width  
Tsiprin Home  
Vehicular Bridge  
Bellevue, Washington

PRELIMINARY NOT FOR CONSTRUCTION			
PACKAGE NUMBER	147301	DATE	8/23/2017
DESIGNED	DYOB	DRAWN	DYOB
CHECKED		APPROVED	
SHEET NO.	1	OF	4



the company's stock price. The company's stock price is currently at a low level, and the company is looking for ways to increase its stock price. The company is looking for ways to increase its stock price by increasing its earnings and reducing its expenses. The company is looking for ways to increase its stock price by increasing its earnings and reducing its expenses. The company is looking for ways to increase its stock price by increasing its earnings and reducing its expenses.

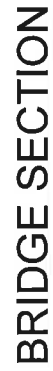


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DRAWING

Steel Stringer 60' Span x 10' Width  
Tsiprin Home  
Vehicular Bridge  
Bellevue, Washington

	PROJECT NUMBER	147301	DATE	8/23/2017
	DESIGNED	DYOB	DRAWN	DYOB
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# BRIDGE SECTION



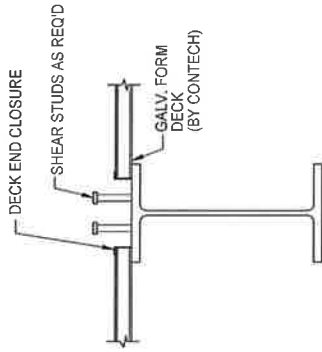
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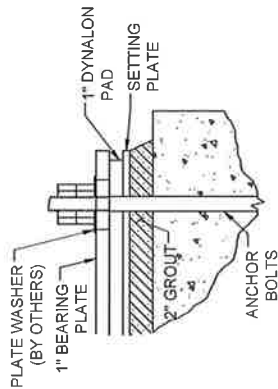
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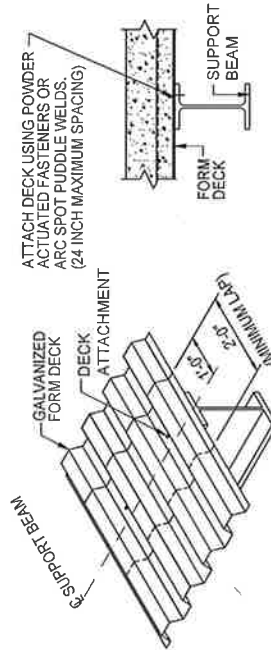
DATE	REVISION	DESCRIPTION	BY
11/25/15			



TYPICAL FORM DECK DETAIL



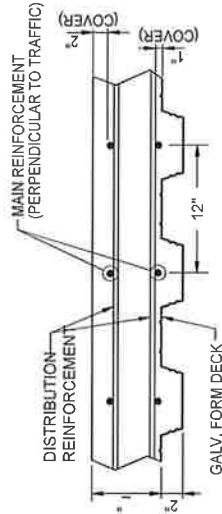
TYPICAL BEARING DETAIL



SECTION VIEW

ISOMETRIC VIEW

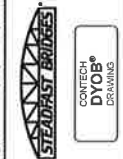
FORM DECK DETAILS



CONCRETE DECK REINFORCEMENT

The graphic information and details contained in these plans is schematic in nature. The plans, elevations and sections have been developed automatically in a way that demonstrates your current input in a relative and proportional manner. The details included in these plans have been selected to represent commonly built construction assemblies. These are not Engineering drawings, and as such, the details may vary in the final design for your project depending on many variables that are selected in your final scope of work and specifications.

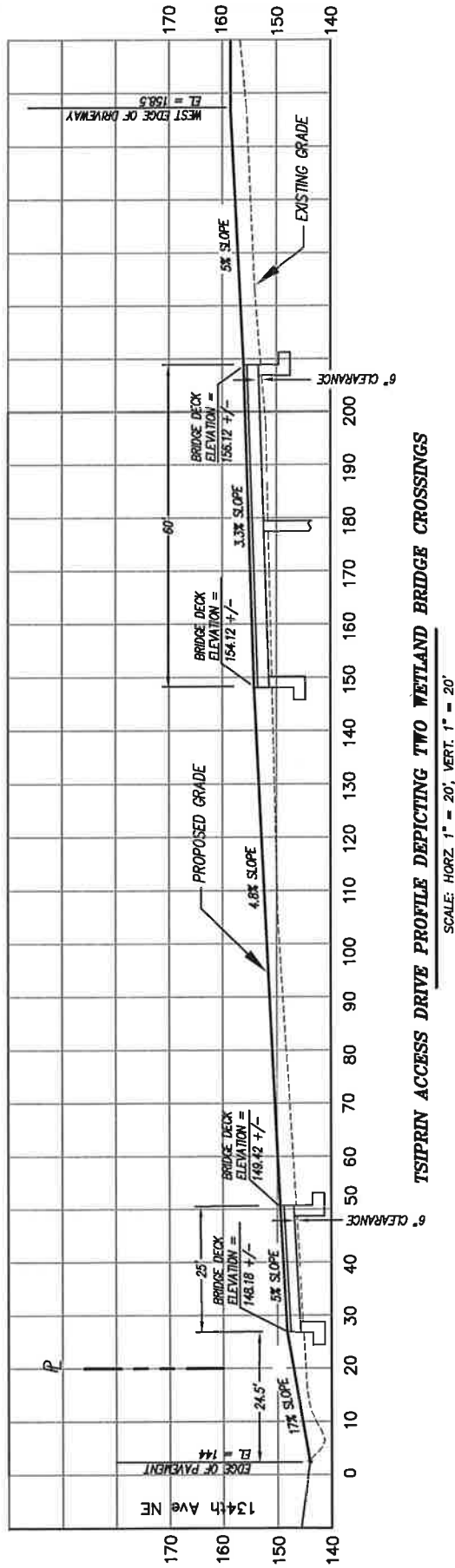
CONTECH ENGINEERED SOLUTIONS LLC  
 8025 Centre Pointe Dr., Suite 400 West Chester, OH 45389  
 800-338-1122 513-645-7000 513-645-7993 FAX



Steel Stringer 60' Span x 12' Width  
 Tsiprin Home  
 Vehicular Bridge  
 Bellevue, Washington

PRELIMINARY NOT FOR CONSTRUCTION			
PROJECT NUMBER	147301	DATE	9/25/2017
DESIGNED	DYOB	DRAWN	DYOB
CHECKED		APPROVED	
SHEET NO.	4	OF	4

MUST BE PRINTED ON 11' X 17' FORMAT IN ORDER TO OBTAIN 1" = 20' SCALE



**TSIPRIN ACCESS DRIVE PROFILE DEPICTING TWO WETLAND BRIDGE CROSSINGS**

BRIDGE CROSSINGS DEPICTED ON THIS DRAWING CORRESPOND WITH  
PRELIMINARY BRIDGE DESIGN DRAWINGS PREPARED BY CONTECH  
ENGINEERED BRIDGE SOLUTIONS AND DATED 8-23-2017

CITY OF BELLEVUE CRITICAL AREA  
REVIEW PERMIT NO. 17-106078

**PROJECT INFORMATION:**

SITE ADDRESS:  
840 134th Ave NE  
BELLEVUE, WA 98005

**CIVIL ENGINEER:**

DONNA L. BRESKE, P.E.  
21 AVE A, SUITE 4  
SHOHOHISH, WA 98290  
PHONE: 360-294-8941  
MOBILE: 206-715-8882  
donnabreske@comcast.net

**PREPARED FOR:**

ELEM & LEON TSIPRIN  
PHONE: 425-577-3383 - LEON

ACCESS DRIVEWAY WITH PROPOSED SLOPED BRIDGE  
CROSSINGS OVER WETLAND FOR TSIPRIN HOME

ISSUE DATE: 8-23-17

SCALE: 1"=20'